

LINE	DIRECTION	DISTANCE
L1	N37°35'56"W	75.81'
L2	N44°51'53"W	27.16'
L3	N88°58'07"W	65.28'
L4	N58°00'02"W	48.05'
L5	N61°15'38"W	37.33'
L6	N79°20'20"W	53.02'
L7	N58°28'18"W	28.74'
L8	N35°12'49"W	16.61'
L9	N46°33'24"W	29.44'
L10	N59°34'08"W	52.25'
L11	N64°46'04"W	49.16'
L12	N65°15'23"W	70.54'

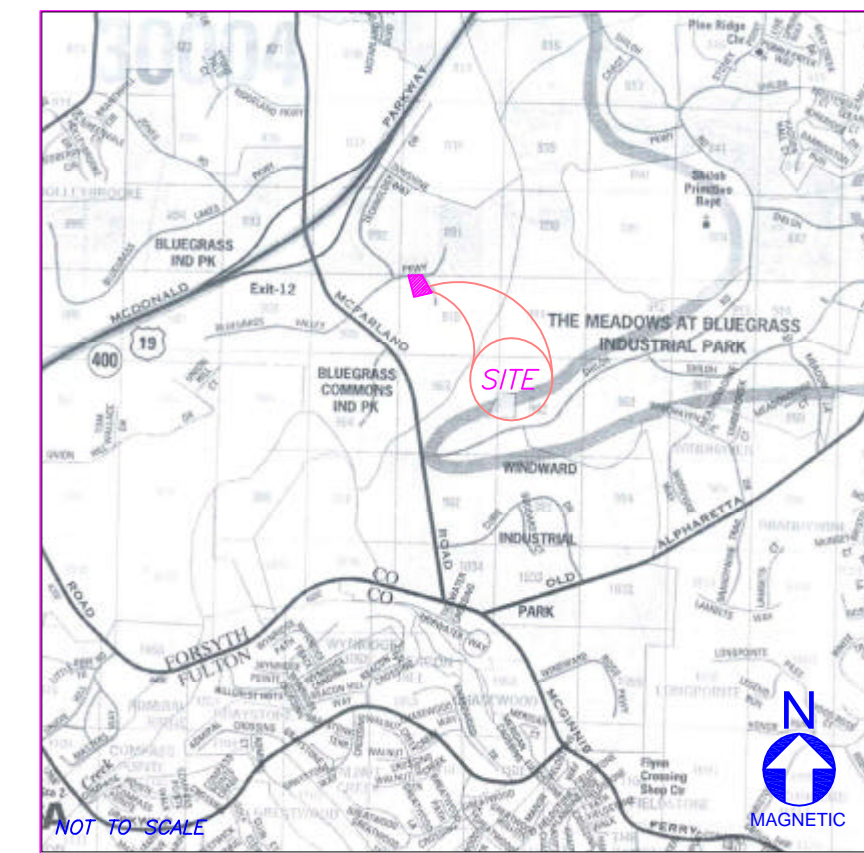
**CURVE C3**  
 CHORD = 145.22  
 RADIUS = 665.00'  
 LENGTH = 145.51'  
 BEARING = N81°45'43"E

**CURVE C2**  
 CHORD = 261.81  
 RADIUS = 665.05'  
 LENGTH = 263.53'  
 BEARING = N64°08'28"E

**CURVE C1**  
 CHORD = 103.72  
 RADIUS = 662.05'  
 LENGTH = 103.83'  
 BEARING = N45°32'52"E

**CURVE C4**  
 CHORD = 134.65  
 RADIUS = 330.00'  
 LENGTH = 135.60'  
 BEARING = S31°42'59"E

**CURVE C5**  
 CHORD = 83.07  
 RADIUS = 270.00'  
 LENGTH = 83.40'  
 BEARING = S31°55'38"E



LOCATION MAP

**FORSYTH COUNTY GENERAL NOTES:**

- Required landscaping must be in place prior to the approval of a Final Plat. Minimum landscaped open space. Stormwater area shall not count toward required minimum.
- Adequate lighting shall be provided if the facilities are to be used at night.
- All improvements to conform with Forsyth County Construction Standards Specifications, latest edition.
- Irrigation systems are prohibited on all existing and proposed County right-of-way and considered to be a violation of the County's ordinance prohibiting unpermitted right-of-way encroachments.
- Notify Forsyth County Inspector 24 hours before the beginning phase of construction. (770) 781-2165.
- Cut or fill slopes shall be no steeper than 2 horizontal to 1 vertical.
- No structures, fences or other obstructions may be located within a drainage or access easement without prior approval by the Forsyth County Department of Engineering.
- Approval of these plans does not constitute approval by Forsyth County of any land disturbing activities within wetland areas. It is the responsibility of the property owner to contact the appropriate regulatory agency for approval of any wetland area disturbance.
- All structures will be required to conform to the Standard Building Code's Horizontal Separation Standards. Approval of this permit will not justify any deviation in Horizontal Separation Standards as adopted and amended by the Georgia Department of Community Affairs.
- Per UDC 10-1.13, outside construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday to Friday; 8:00 a.m. to 6:00 p.m. Saturday; and there will be no outside construction on Sunday.
- Screening of ground mounted equipment, dumpsters, outside storage of vehicles or equipment is required.
- Modular retaining wall design must be submitted to the Forsyth County Department of Engineering for approval prior to installation. Wall design must include details and specifications that are site-specific and must be signed and sealed by a registered professional engineer in the State of Georgia. All walls greater than four (4) feet in height shall include a fence or handrail along the top.
- No certificate of occupancy (C.O.) will be issued until all site improvements have been completed. As-built required for C.O. prior to final building inspection.
- Certificate of Occupancy (C.O.) will not be issued until final inspections are completed by Forsyth County Water & Sewer Department.
- The only material to be buried on-site is vegetative material (excluding trees, stumps and logs), provided it is not buried within 100' of any property line or enclosed structure. Construction waste may neither be burned or buried and must be taken to a state approved landfill.
- Signs, location, number and size are not approved under this building permit. A separate permit is required for signage.
- For all parking areas abutting a public or private sidewalk or landscaped area, barrier curbing shall be installed two feet, six inches from the sidewalk or landscaped area to prevent vehicles from overhanging the sidewalk or landscaped area.
- Parking and loading areas shall be surfaced with a dust-free surface.
- Part V Criteria apply for the following Overlay Zoning Districts: Big Creek Watershed, Hazardous Materials Handling Area.
- Contact the County Arborist for an appointment at 770-205-4562. The County Arborist must field verify all appropriate tree protection devices are in place, e.g., tree protection tape, fencing, etc. Failure to contact the County Arborist for this onsite inspection will result in your approval being delayed. During the course of development of your project, if you deviate from the approved Tree Protection and Replacement Plan, you must submit a revised set of plans to P&D. This revision will be handled like all other revisions.
- Required landscaping must be in place prior to the approval of As Buils.
- Full service drives will revert to right in/right out drives if Forsyth County determines they are creating traffic problems and/or accidents or if road is widened to a multi-lane highway with median.
- Approval of these plans by Forsyth County is subject to, and contingent upon the applicant obtaining any and all necessary approvals from any and all applicable agencies including, but not limited to the United States Army Corps of Engineers, the United States Environmental Protection Agency, the USDA-NRCS, Georgia Department of Natural Resources, Georgia Environmental Protection Division, and the Georgia Soil and Water Conservation Commission.
- Ground mounted equipment, dumpsters, outside storage of vehicles, merchandise, or equipment shall be screened with 6' high solid fence or construction materials substantially similar in appearance to the building site.

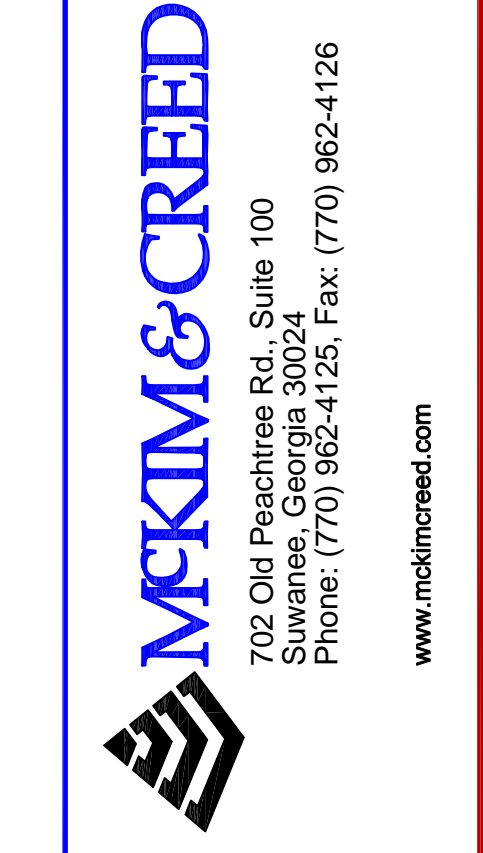
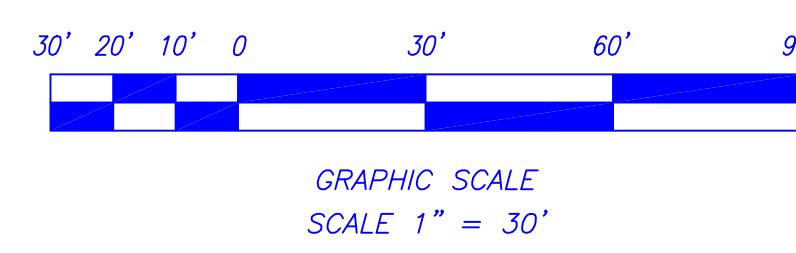
**PROJECT NOTES:**

- OWNER:** John and Pam Smart Family Trust  
 1040 West Conway, N.W.  
 Atlanta, GA 30327-3640  
**PHONE:** 404-269-9185  
**CONTACT:** John Smart
- DEVELOPER:** Stephen W. Wright Company  
 1101 Stovall Blvd., N.E.  
 Atlanta, GA 30319-1218  
**PHONE:** 404-266-1000  
**CONTACT:** Stephen Wright
- ENGINEER:** McKim & Creed, P.A.  
 702 Old Peachtree Road  
 Suwanee, Georgia 30024  
**PHONE:** (770) 962-4125  
**CONTACT:** Mark S. Brock, P.E.  
**E-MAIL ADDRESS:** MBrock@McKimCreed.com
- Property located in L.L. 891 and 910, 2nd Dist., Forsyth Co.
  - Zoning: M-1.
  - Building Setbacks:  
 Front: 50' front building setback line imposed by Forsyth County  
 Side: 15'  
 Rear: 25'
  - Proposed use is Warehouse/Office.
  - Proposed building height 35'.
  - Total tract contains 2.76 acres.
  - Boundary information obtained from survey by Smith & Smith Land Surveyors, P.C., dated December 13, 2007.
  - This property is shown on F.I.R.M. panel number 1311700C0230 E, dated September 19, 2007 and is not located within a special flood hazard zone.
  - Utilities:  
 Water - Forsyth County  
 Sanitary Sewer - Forsyth County
  - The location of underground utilities shown is approximate based on surface field evidence and information supplied by utility agencies. The survey makes no certification as to the completeness of the locations shown herein. Appropriate utility companies should be contacted for verification of locations prior to any construction activity.
  - The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.
  - Contractor shall notify the engineer and owner/developer of any information found in the field that is different from what is shown on these design plans.
  - No drive-up windows are to be installed.
  - No billboards are permitted.
  - No roof overhangs.
  - Part V Criteria does not apply to this site.
  - All parking areas abutting a public or private sidewalk or landscaped area, barrier curbing (wheel stops) shall be installed 2' from the sidewalk or landscaped area.
  - Parking and loading areas shall be surfaced with a dust-free surface.
  - Outdoor lighting will be provided in accordance with Unified Development Code 16.4-22. Lighting plan will be prepared by an electrical engineer and will comply with Unified Development Code 16.4-22.
  - Adequate lighting shall be provided if the facilities are to be used at night.
  - No off-site drainage to site.

**PARKING DATA:**

REQUIRED:	24,200 s.f. x 1 space / 300 s.f.	81	spaces
100% Office		81	spaces
<b>MINIMUM PARKING REQUIRED</b>		<b>81</b>	<b>spaces</b>
<b>MAXIMUM PARKING ALLOWED(125% MIN)</b>		<b>101</b>	<b>spaces</b>
PROPOSED:			
Regular	(9' x 18')	82	spaces
Handicapped / Van	(8' wide w/ 8' striping)	4	spaces
<b>TOTAL PARKING PROVIDED</b>		<b>86</b>	<b>spaces</b>

**OPTION 4**  
 SITE DATA  
 BUILDING AREA: 24,200 S.F.  
 PARKING PROVIDED: 86 SPACES  
 PARKING RATIO: 3.6 SPACES / 1000



MASTER PLANNING for  
**STEPHEN W. WRIGHT COMPANY**  
 L.L. 891 & 910, 2nd District, Forsyth County, GA

REVISION DESCRIPTION	DATE	SUBMIT TO CLIENT
	03-24-09	A
	04-02-09	B

SHEET TITLE:  
**CONCEPT PLAN**

PROJECT NO. 05620-0001	SHEET NO. C-1
DATE: 02/13/09	ISSUE No. 2 of 1